

AECOM
Addendum No. 3

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Addendum No. 3, 2 pages
Pre-bid Question Attachment, 2 pages
Specifications, 13 pages
Drawings, 0 pages

AECOM
10 S Jefferson St., Suite 1600
Roanoke, VA 24011

Project: Lexington City Hall Renovation
Lexington, Virginia

Bid Date: February 13, 2025 until 3:00 p.m.
local prevailing time

Addendum Date: 04 February 2025

Project No. 60730109

Addendum No. 3

The following information shall modify the contract documents, and the work shall be accomplished in accordance with such stated modifications. It is suggested that this addendum be stapled to the back of the front cover of the project manual.

GENERAL

Pre-bid Questions and Responses follow:

1. Question: Drawing P-601. What is the Basis of Design for the plumbing fixtures?
Response: See Addendum No. 3.

2. Question: Drawing AE901, Section 07 41 13.16: Standing seam metal roof panels specification call for a factory formed snaplock panel. This style is not a historic panel and cannot be radiused. Will a 1 ½" or 2" mechanical locked and onsite fabrication holding the same warranties be acceptable? Please see cutsheets attached.
Response: A panel height of 1 1/2", 1 3/4" or 2" will be acceptable. A mechanically locked and on-site fabricated metal roof system will be accepted, except that all other requirements of the specifications must be met. On-site fabrication must use only equipment, processes and systems recommended by the roofing manufacturer.

SPECIFICATIONS

Table of Contents:

Replace with revised Table of Contents.

Document 004113 Bid Form - Stipulated Sum (Single-Prime Contract):

Replace with revised Document 004113 Bid Form - Stipulated Sum (Single-Prime Contract).

Document 004321 - Allowance Form:

Add Document 004321 - Allowance Form.

Section 011000 – Summary:

Replace with revised 011000 – Summary.

Section 012100 – Allowances:

Add Section 012100 – Allowances.

DRAWINGS

Sheet P-601:

Plumbing Fixture Schedule, add the Basis of Design Manufacturer and Model Number or equal as follows:

Plumbing Fixture Mark	Basis of Design Manufacturer or equal	Basis of Design Model Number or equal
EWC-1	Elkay	LVRRCGRNTL8WSK
L-1 Sink Faucet	Kohler American Standard, INNSBROOK SELECTRONIC, ELECTRONIC TOUCHLESS LAVATORY FAUCET, CAST CENTERSET SPOUT, BASE MODEL	K-20000 605B.205 with PK00.CRP power supply and 605XTMV1070 mixing valve
S-1 Sink Faucet	Elkay Kohler	ELUHAD281645PD Purist, K-24982
S-2 Sink Faucet	Elkay Elkay	ESSW2520C LKB940C
UB-1	Oatey	39152
WC-1	American Standard, Afwall Millenium FloWise 1.28 GPF Flushometer Toilet System with EverClean Manual Flush Valve	2856.128
WC-2	American Standard, Afwall Millenium FloWise 1.28 GPF Flushometer Toilet System with EverClean Manual Flush Valve	2856.128
WH-1	WOODFORD MANUFACTURING COMPANY	Model 17

End of Addendum

ML150

1 1/2" Mechanical Lock Panel

PRODUCT DESCRIPTION

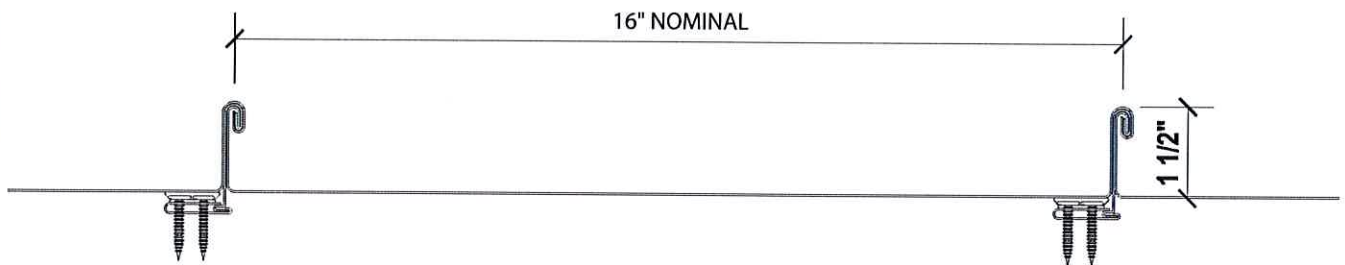
- Classic Architectural Standing Seam Metal Roofing System
- Ideal for residential and light commercial applications
- Specially designed clip allows thermal movement
- Tested panel for rated assemblies achieves high performance levels
- Mechanical locked seam for long-term weather tight performance
- Excellent for roofing installation requiring exotic metals such as copper and terne

1-1/2" Mechanical Lock Panel; max width 16.3"; Double Lock 180 Degree Seam fastened with (2) #10-12 x 1" long No. 2 Phillips drive pancake head, wood screws; Floating Clip Assembly ML150R Clip fastening metal to panel to min. 15/32" plywood decking; maximum 24" clip spacing; Panel Rollformer: Schleich Quadro-Plus Rollformer; Maximum Allowable Roof Uplift Pressure (steel): -59.75 psf Main Field @ 24" Clip Spacing; Perimeter and Corner Pressure -123.5 psf @ 6" Clip Spacing; Oil Canning is a characteristic of light gauge architectural metals and is not a flaw and therefore is not a cause for rejection.



SENTRIGARD
METAL ROOFING SYSTEMS

www.sentrigard.com



DESIGN INFORMATION

- Minimum Slope = 1-1/2":12"
- Actual Panel Width: 16.3" from 20" Coil
- Solid Substrate Required
- Architectural, Hydrokinetic Panel
- Mechanically Seamed in the Field
- 24 and 26 Gauge Galvalume*
- .032" Aluminum
- 16oz Copper
- 30 Year Finish Warranty on Kynar 500 Finish
- Weather Tight Warranty Available
- Underlayment Required

MIAMI-DADE COUNTY
APPROVED

TEST REPORT SUMMARY

- Miami Dade Building Code Compliance Approved
- Florida Building Code 2020
- Chapter 15: Roof Assemblies
- Section 1504.3.2; 1505.3; 1507.4
- Chapter 16: Structural Design
- Chapter 22: Steel; Section 2209 Cold Form Steel
- Chapter 23: Wood
- Testing per TAS 125-03 Std. Requirements for Metal Roof Systems
- Test Assembly #6 by Underwriters Laboratory for:
 - a) UL 580-94, per FBC, Uplift Resistance of Roof Assemblies
 - b) UL 1897-98, per FBC, Uplift Tests for Roof Covering Systems
- Testing per TAS 100 Wind Driven Rain Test
- FPA #9860.5 – HVHZ – 24ga
- FPA #15636.1 – HVHZ – .032" Aluminum
- M-D NOA #19-0722.03 - HVHZ - 24ga

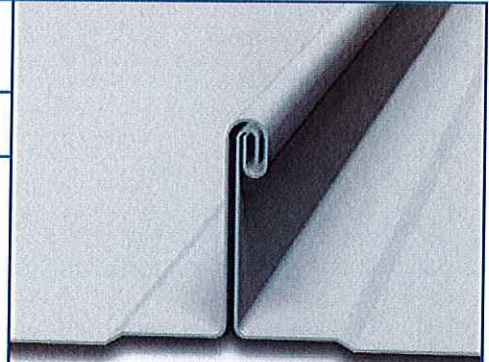
ML200

2" Mechanical Lock Panel

PRODUCT DESCRIPTION

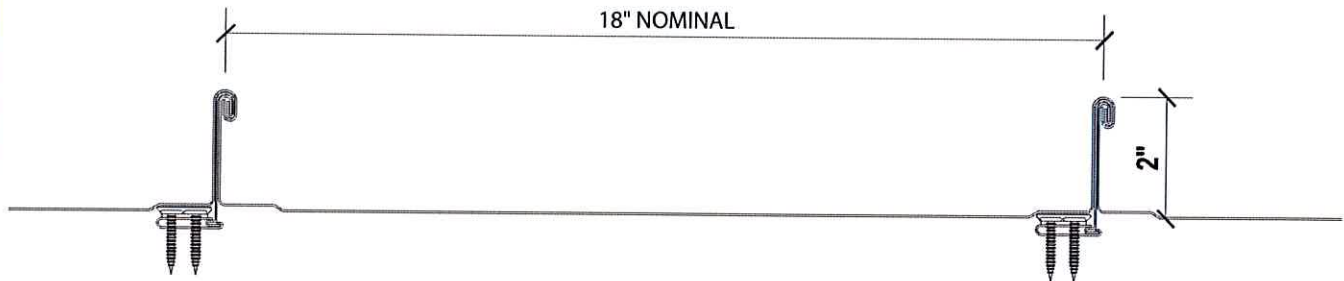
- Structural Standing Seam Metal Roofing System
- Commercial profile for multiple deck and slope applications
- Combines optimum performance with excellent value
- Specially designed clip allows thermal movement
- Tested panel for rated assemblies achieves higher performance levels
- Mechanical locked seam for long-term weather tight performance

2" Mechanical Lock Panel; max width 18.75"; Double Lock 180 Degree Seam fastened with (2) #12/14 Quadrex drive pancake head, Self Tapping screws; Floating Clip Assembly ML150R Clip fastening metal to panel through Dens Deck Sheathing & Insulation to underlying Steel Decking or over open framing; maximum 24" clip spacing; Panel Rollformer: Schleich Quadro-Plus Rollformer; Oil Canning is a characteristic of light gauge architectural metals and is not a flaw and therefore is not a cause for rejection.



SENTRIGARD
METAL ROOFING SYSTEMS

www.sentrigard.com



DESIGN INFORMATION

- Minimum Slope = 1/2":12"
- Actual Panel Width: 18.75" from 24" Coil
- Solid Substrate or Open Framing (max. 5' OC)
- Structural, Hydrostatic Panel
- Mechanically Seamed in the Field
- 24 and 26 Gauge Galvalume*
- .032" Aluminum
- 16oz Copper
- 30 Year Finish Warranty on Kynar 500 Finish
- Weather Tight Warranty Available
- Underlayment Required with Solid Substrate

MIAMI-DADE COUNTY
APPROVED

TEST REPORT SUMMARY

- Miami Dade Building Code Compliance Approved
- Florida Building Code 2020
- Chapter 15: Roof Assemblies
- Section 1504.3.2; 1505.3; 1507.4
- Chapter 16: Structural Design
- Chapter 22: Steel; Section 2209 Cold Form Steel
- Chapter 23: Wood
- Testing per TAS 125-03 Std. Requirements for Metal Roof Systems
- Test Assembly #6 by Underwriters Laboratory for:
 - a) UL 580-94, per FBC, Uplift Resistance of Roof Assemblies
 - b) UL 1897-98, per FBC, Uplift Tests for Roof Covering Systems
- Testing per TAS 100 Wind Driven Rain Test
- FPA #9864.1 – Non HVHZ – 24ga
- FPA #9860.1 – HVHZ – 24ga
- FPA #9860.2 – HVHZ – Aluminum
- M-D NOA #19-0722.07 - HVHZ - 24ga
- M-D NOA #19-0722.08 - HVHZ - Aluminum

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APPENDICES

APPENDIX A	GEOTECHNICAL REPORT
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DOCUMENT 004113 - BID FORM - STIPULATED SUM (SINGLE-PRIME CONTRACT)

1.1 BID INFORMATION

- A. Bidder: _____.
- B. Project Name: Lexington City Hall Renovation.
- C. Project Location: 300 East Washington Street, Lexington, VA, 24450.
- D. Owner: City of Lexington, VA.
- E. Architect: AECOM.
- F. Architect Project Number: 60730109.

1.2 CERTIFICATIONS AND BASE BID

- A. Base Bid, excluding Add Alternate No. 2, 3, and 13, Single-Prime (All Trades) Contract: The undersigned Bidder, having carefully examined the Procurement and Contracting Requirements, Conditions of the Contract, Drawings, Specifications, and all subsequent Addenda, as prepared by AECOM and Architect's consultants, having visited the site, and being familiar with all conditions and requirements of the Work, hereby agrees to furnish all material, labor, equipment and services, including all scheduled allowances, necessary to complete the construction of the above-named project, according to the requirements of the Procurement and Contracting Documents, for the stipulated sum of:
 - 1. _____ Dollars (\$_____).
 - 2. The above amount may be modified by amounts indicated by the Bidder on the attached Document 004322 "Unit Prices Form" and Document 004323 "Alternates Form."

1.3 BID GUARANTEE

- A. The undersigned Bidder agrees to execute a contract for this Work in the above amount and to furnish surety as specified within 15 days after a written Notice of Award, if offered within **90** days after receipt of bids, and on failure to do so agrees to forfeit to Owner the attached cash, cashier's check, certified check, U.S. money order, or bid bond, as liquidated damages for such failure, in the following amount constituting five percent (5%) of the Base Bid amount above:
 - 1. _____ Dollars (\$_____).
- B. In the event Owner does not offer Notice of Award within the time limits stated above, Owner will return to the undersigned the cash, cashier's check, certified check, U.S. money order, or bid bond.

1.4 TIME OF COMPLETION

- A. The undersigned Bidder proposes and agrees hereby to commence the Work of the Contract Documents on a date specified in a written Notice to Proceed to be issued by Architect, and shall ~~fully~~ be substantially complete the Work within 550 calendar days.

1.5 ACKNOWLEDGMENT OF ADDENDA

- A. The undersigned Bidder acknowledges receipt of and use of the following Addenda in the preparation of this Bid:
 1. Addendum No. 1, dated _____.
 2. Addendum No. 2, dated _____.
 3. Addendum No. 3, dated _____.
 4. Addendum No. 4, dated _____.

1.6 BID SUPPLEMENTS

- A. The following supplements are a part of this Bid Form and are attached hereto.
 1. Bid Form Supplement - Alternates.
 2. Bid Form Supplement - Unit Prices.
 - ~~2.~~3. Bid Form Supplement – Allowances.

1.7 CONTRACTOR'S LICENSE

- A. The undersigned further states that it is a duly licensed contractor, for the type of work proposed, in the City of Lexington, and that all fees, permits, etc., pursuant to submitting this proposal have been paid in full.

1.8 SUBMISSION OF BID

- A. Respectfully submitted this ____ day of _____, 2025.
- B. Submitted By: _____(Name of bidding firm or corporation).
- C. Authorized Signature: _____(Handwritten signature).
- D. Signed By: _____(Type or print name).
- E. Title: _____(Owner/Partner/President/Vice President).
- F. Witnessed By: _____(Handwritten signature).
- G. Attest: _____(Handwritten signature).
- H. By: _____(Type or print name).

- I. Title: _____(Corporate Secretary or Assistant Secretary).
- J. Street Address: _____.
- K. City, State, Zip: _____.
- L. Phone: _____.
- M. License No.: _____.
- N. Federal ID No.: _____(Affix Corporate Seal Here).

END OF DOCUMENT 004113

DOCUMENT 004321 - ALLOWANCE FORM

1.1 BID INFORMATION

- A. Bidder: _____.
- B. Project Name: Lexington City Hall Renovation.
- C. Project Location: 300 East Washington Street, Lexington, VA, 24450.
- D. Owner: City of Lexington, VA.
- E. Architect: AECOM.
- F. Architect Project Number: 60730109.

1.2 BID FORM SUPPLEMENT

- A. This form is required to be attached to the Bid Form.
- B. The undersigned Bidder certifies that Base Bid submission to which this Bid Supplement is attached includes those allowances described in the Contract Documents and scheduled in Section 012100 "Allowances."

1.3 SUBMISSION OF BID SUPPLEMENT

- A. Respectfully submitted this ____ day of _____, 2025.
- B. Submitted By: _____(Insert name of bidding firm or corporation).
- C. Authorized Signature: _____(Handwritten signature).
- D. Signed By: _____(Type or print name).
- E. Title: _____(Owner/Partner/President/Vice President).

END OF DOCUMENT 004321

SECTION 011000 - SUMMARY

PART 1 - GENERAL

1.1 SUMMARY

A. Section Includes:

1. Project information.
2. Work covered by Contract Documents.
3. Contractor's use of site and premises.
4. Coordination with occupants.
5. Work restrictions.
- ~~5-6.~~ Salvaged items.
- ~~6-7.~~ Specification and Drawing conventions.

B. Related Requirements:

1. Section 015000 "Temporary Facilities and Controls" for limitations and procedures governing temporary use of Owner's facilities.

1.2 PROJECT INFORMATION

A. Project Identification: Lexington City Hall Renovation.

1. Project Location: 300 East Washington Street, Lexington, VA, 24450.

B. Owner: City of Lexington, VA.

1. Owner's Representative: Patrick Madigan, Director of Public Works.

C. Architect: AECOM , 10 South Jefferson Street, Suite 1600, Roanoke, VA, 24011.

1.3 WORK COVERED BY CONTRACT DOCUMENTS

A. The Work of Project is defined by the Contract Documents and consists of the following:

1. The project consists of renovating the existing Lexington City Hall building and providing a vestibule addition to the building. The project includes approximately 10,000 square feet of renovation and addition of approximately 150 square feet. and other Work indicated in the Contract Documents.

B. Type of Contract:

1. Project will be constructed under a single prime contract.

1.4 CONTRACTOR'S USE OF SITE AND PREMISES

- A. Restricted Use of Site: Contractor shall have limited use of Project site for construction operations as indicated on Drawings by the Contract limits and as indicated by requirements of this Section.
- B. Limits on Use of Site: Limit use of Project site to areas within the Contract limits indicated. Do not disturb portions of Project site beyond areas in which the Work is indicated.
 - 1. Limits on Use of Site: Confine construction operations to construction limits shown in the contract documents.
 - 2. Driveways, Walkways, and Entrances: Keep driveways and entrances serving premises clear and available to Owner, Owner's employees, and emergency vehicles at all times. Do not use these areas for parking or for storage of materials.
- C. Condition of Existing Building: Maintain portions of existing building affected by construction operations in a weathertight condition throughout construction period. Repair damage caused by construction operations.
- D. Condition of Existing Grounds: Maintain portions of existing grounds, landscaping, and hardscaping affected by construction operations throughout construction period. Repair damage caused by construction operations.

1.5 COORDINATION WITH OCCUPANTS

- A. Full Owner Occupancy: Owner will occupy site and adjacent building(s) during entire construction period. Cooperate with Owner during construction operations to minimize conflicts and facilitate Owner usage. Perform the Work so as not to interfere with Owner's day-to-day operations. Maintain existing exits unless otherwise indicated.
- B. Owner Limited Occupancy of Completed Areas of Construction: Owner reserves the right to occupy and to place and install equipment in completed portions of the Work, prior to Substantial Completion of the Work, provided such occupancy does not interfere with completion of the Work. Such placement of equipment and limited occupancy shall not constitute acceptance of the total Work.

1.6 WORK RESTRICTIONS

- A. Comply with restrictions on construction operations.
 - 1. Comply with limitations on use of public streets, work on public streets, rights of way, and other requirements of authorities having jurisdiction.
- B. On-Site Work Hours: Limit work in the existing building to normal business working hours of 7:00 a.m. to 7:00 p.m., Monday through Friday, unless otherwise indicated. Weekends upon request and approval by owner.

- C. Existing Utility Interruptions: Do not interrupt utilities serving facilities occupied by Owner or others unless permitted under the following conditions and then only after providing temporary utility services according to requirements indicated:
 - 1. Notify Owner not less than seven days in advance of proposed utility interruptions.
 - 2. Obtain Owner's written permission before proceeding with utility interruptions.
- D. Noise, Vibration, Dust, and Odors: Coordinate operations that may result in high levels of noise and vibration, dust, odors, or other disruption to Owner occupancy with Owner.
 - 1. Notify Owner not less than seven days in advance of proposed disruptive operations.
 - 2. Obtain Owner's written permission before proceeding with disruptive operations.
- E. Smoking and Controlled Substance Restrictions: Use of tobacco products , alcoholic beverages, and other controlled substances within the existing building, on Project site, or on Owner's property is not permitted.
- F. Employee Identification: Provide identification tags for Contractor personnel working on Project site. Require personnel to use identification tags at all times.

1.7 SALVAGED ITEMS

- A. Salvage doors and hardware, badge access control devices, cameras, and office signs being removed and deliver to the Owner.

1.7.1.8 SPECIFICATION AND DRAWING CONVENTIONS

- A. Specification Content: The Specifications use certain conventions for the style of language and the intended meaning of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
 - 1. Specification requirements are to be performed by Contractor unless specifically stated otherwise.
- B. Division 00 Contracting Requirements: General provisions of the Contract, including General and Supplementary Conditions, apply to all Sections of the Specifications.
- C. Division 01 General Requirements: Requirements of Sections in Division 01 apply to the Work of all Sections in the Specifications.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION (Not Used)

END OF SECTION 011000

SUMMARY

011000 - 3
Addendum No. 3

SECTION 012100 - ALLOWANCES

PART 1 - GENERAL

1.1 SUMMARY

- A. Section includes administrative and procedural requirements governing allowances.
- B. Types of allowances include the following:
 - 1. Contingency allowances.

1.2 SELECTION

- A. At Architect's request, obtain proposals for each allowance for use in making final selection. Include recommendations that are relevant to performing the Work.
- B. Service provider selected by the Owner shall perform the Work.

1.3 ACTION SUBMITTALS

- A. Submit proposals for services included in allowances in the form specified for Change Orders.

1.4 INFORMATIONAL SUBMITTALS

- A. Coordinate and process submittals for allowance items in same manner as for other portions of the Work.

1.5 CONTINGENCY ALLOWANCES

- A. Use the contingency allowance only as directed by Architect for Owner's purposes and only by Change Orders that indicate amounts to be charged to the allowance.
- B. Contractor's overhead, profit, and related costs for services ordered by Owner under the contingency allowance are included in the allowance and are not part of the Contract Sum. These costs include taxes, insurance, equipment rental, and similar costs.
- C. Change Orders authorizing use of funds from the contingency allowance will include Contractor's related costs and reasonable overhead and profit.
- D. At Project closeout, credit unused amounts remaining in the contingency allowance to Owner by Change Order.

1.6 ADJUSTMENT OF ALLOWANCES

- A. Allowance Adjustment: To adjust allowance amounts, prepare a Change Order proposal based on the difference between proposal amount and the allowance.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 SCHEDULE OF ALLOWANCES

- A. Allowance No. 1: Contingency Allowance: Include a contingency allowance of \$10,000.00 for use to perform field survey and sampling of materials to be demolished, asbestos survey, lead-base paint screenings, PCB, CFC and mercury containing device inventory, report to include site survey findings, and hazardous materials abatement specification. Hazardous materials abatement specification shall be prepared by a Commonwealth of Virginia Licensed Asbestos Project Designer and reviewed, signed and sealed by an American Board of Industrial Hygiene (ABIH) Certified Industrial Hygienist. The specification will outline the hazardous containing materials to be removed, estimated quantities, and their general locations, training and licensure requirements of those performing the work, required engineering controls, project monitoring, and final clearance criteria. Review Contractor's hazardous materials abatement submittals.
- B. Allowance No. 2: Contingency Allowance: Include the sum of \$60,000.00 to perform hazardous containing materials abatement to comply with the requirements defined in the hazardous materials abatement specification prepared in Allowance No. 1.

END OF SECTION 012100