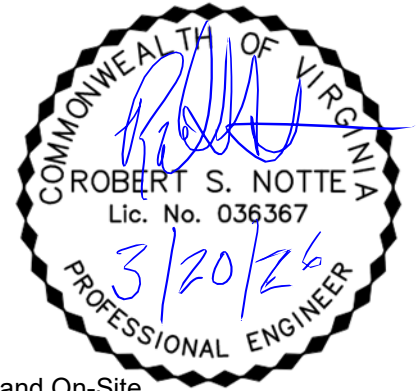


**RADFORD UNIVERSITY
ALLEN BUILDING HVAC RENOVATION
PROJECT NUMBER 217-B2217-017**

**ADDEDUM NO. 1
MARCH 20, 2026**



Pre-Bid Meeting: March 12, 2026, 10am, Armstrong Complex, Room 186 and On-Site

Attendees: See Attached Sign-In Sheet

General Discussion:

1. See Attached Pre-bid Conference Agenda. Additional changes and clarifications to this agenda are included below.

Specifications:

1. **REPLACEMENT:** Replace Notice of Invitation for Bid with the attached Invitation for Bid.
2. **REPLACEMENT:** Replace Bid Form with the attached Bid Form.

Questions:

1. **Question:** Sheet G1.01 shows fire extinguisher cabinets and fire extinguishers. Are these existing to remain or new? There is no spec for these.

Answer: Fire extinguishers and fire extinguisher cabinets are existing to remain. Examine extinguishers for proper pressure and notify engineer if pressure is improper.

2. **Question:** Please explain the phasing on G1.02. Can work occur on simultaneously between different floors? Or are we to complete 1 of 5 total phases at a time? Can Ground Phase 1 occur at the same time as 1st Phase 1?

Answer: The contractor can work simultaneously between different floors. The contractor shall complete construction in accordance with the notes on plan sheet G1.02.

3. **Question:** Note 024119.39 on Sheet AD1.12 indicates floor removal in various areas for new mechanical shafts. Please confirm that the 1st Floor concrete slab is 7" thick. Any special conditions that we need to be aware of such as post-tension concrete, etc.?

Answer: As-built drawings indicate the first floor slab is 7" thick reinforced concrete. No post-tensioned cables are indicated on the drawings. Contractor shall verify existing conditions prior to construction.

4. **Question:** Please confirm that the entire roof structure is metal deck (without concrete); the couple areas that were visible appeared as such. With much of the roof structure concealed by existing ceilings, please confirm the entire structure is a similar condition.

Answer: As-built drawings indicate the roof structure is metal roof deck with no concrete. Contractor shall verify existing conditions prior to construction.

5. **Question:** Note 024119.14 is listed multiple times on Sheets AD1.13 & AD1.14, but is not listed or described in the Keynote Schedule. Please advise.

Answer: For note 024119.14, the corresponding description is "Remove entire acoustical ceiling system, including but not limited to lights, diffusers, sensors, devices, etc. See MEP

drawings for additional information."

6. **Question:** Is the existing roof under warranty? If so, please provide warranty info.

Answer: Yes. See the attached Carlisle Golden Seal Total Roofing System Warranty.

7. **Question:** It was stated by the Owner at the pre-bid that the basis of award is based on Total Base Bid Amount (Sum of Parts A, B & C). This contradicts language in Paragraph 12 of the CO-7A. Please re-confirm the basis of award will be Total Base Bid.

Answer: The project will be awarded in accordance with CO-7A. See revised bid form attached to this addendum.

8. **Question:** Please confirm the floor to deck heights are 10'-5" and 10'-0" for the Ground Floor and 1st Floor, respectively.

Answer: As-built drawings and field measurements of accessible areas indicate the floor-to-floor height of the ground floor is 11'-0" and the floor-to-floor height of the first floor is 10'-0" to the low roof and 15'-0" to the high roof. Contractor shall verify existing conditions prior to construction.

9. **Question:** Sheet A1.11 lists various notes within Finish Plan General Notes that mention painting of walls, ceilings, soffits and door frames. Are all walls, ceilings, soffits and door frames getting painted throughout the project area? We did not see a finish schedule.

Answer: All walls, GPDW ceilings, GPDW soffits, doors, door frames, and related items in the project area shall be painted.

10. **Question:** Will Owner remove, store, and return furniture and office equipment?

Answer: The contractor will be responsible for the removal, storage, protection, and reinstallation of furniture and office equipment.

11. **Question:** Sheets A1.13 and A1.14 show the install of ceiling APC-Y. Is ceiling APC-Y defined by specification 09 51 13? Please clarify ceiling type "Y".

Answer: Yes, ceiling noted as APC-Y on the ceiling plans is defined as ACP-1 in specification 09 51 13.

12. **Question:** On sheet AD1.12, the closet walls in Emergency Response 109 are shown to be demolished per note 024119.35. Sheet A1.12 shows the existing closet walls remaining and only new wall infill where the bi-fold door was removed. Are the closet walls shown on AD1.12 to be demolished? If so, please indicate on A1.12 the new wall type.

Answer: Existing walls at this location do not need to be demolished as shown on sheet AD1.12. Note 024119.35 does not apply. Sheet A1.12 represents intended work.

13. **Question:** Please provide specifications for new roof walkways shown on A1.15.

Answer: WALK PADS - Factory-formed, non-porous, heavy duty, solid-rubber, slip resistant, surface textured walkway pads (30"x30"), 3/16 inch thick and acceptable to roof system manufacturer spaced min. 3" apart.

WALK PAD INSTALLATION - Flexible Walkways: Install walk pads in locations indicated. Adhere walk pads to substrate with compatible adhesive according to roofing system manufacturer's written instructions. Fully adhere walk pad to roof membrane and install lap sealant around entire perimeter.

14. Question: Would the Owner entertain a bid date extension of 1-week? There are other projects with conflicting bid dates that are affecting contractors and subcontractors ability to properly review and evaluate this project.

Answer: The bid due date has been changed to **2:00pm on April 7, 2026**, and the bid opening date has been changed to **2:00pm on April 8, 2026**. See attached Notice of Invitation for Bids.

15. Question: Sheet T1.01 lists Sections 260571 and 230300 as delegated design, but these spec sections aren't contained in the bid documents. Please advise.

Answer: Delegated design for Available Fault Current Study (260571) and Design of Excavation Support and Protective Systems (230300) are not required for this project.

Attachments: Pre-bid Sign-In Sheet (1 Page)
Pre-bid Conference Agenda (2 Pages)
Notice of Invitation for Bid (1 Page)
Bid Form – Addendum 1 (4 Pages)
Carlisle Golden Seal Total Roofing System Warranty (4 Pages)

Robert S. Notte, PE, LEED AP
Project Manager | Senior Vice President
Dewberry Engineers Inc.

Attachments: Invitation to Bid (1 Page)

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END OF ADDENDUM 1



**PLANNING AND
CONSTRUCTION**

**PRE-Bid CONFERENCE
RADFORD UNIVERSITY**

Allen Building HVAC
PROJECT CODE: 217-B2217-017
AT: 10:00 AM. On Thursday, March 12, 2026



NAME	COMPANY	E-mail	PHONE #
1. Skip Notte	Dewberry	snotte@dewberry.com	704-625-5088
2. W. L. Ferguson	Radford University	wlferguso@radford.edu	540-831-7781
3. Paul O'Keef	Radford University	pokeef@radford.edu	540-354-8018
4. Andrew Bridges	GJ Hopkins	andrew.bridges@gjhopkins.com	
5. Jacob Clifton	GJ Hopkins	jacob.clifton@gjhopkins.com	540-982-1873
6. Aaron Vost	MB Contractors	bids@mbcontractors.com	540/342-6758
7. Todd Miller	Alvis Laing Elec.	Toddm@alviselectric.com	970-966-3509
8. Malcolm Laing	Alvis Laing Ele	malcolm@alviselectric.com	540 320 9391
9. Jeremy hurt	SRC	jeremyhurt@SRC-inc.net	(304) 809-2119
10. Scott Davis	Dewberry	sdavis@dewberry.com	919-616-0943
11. Bill Hamilton	Dewberry	whamilton@dewberry.com	984.833.4832
12. Mack Worrell	Varney Inc.	mworrell@varneyinc.com	540-265-9971
13. Andy Jones	SRC		
14. Trevor Hall	SRC	info@pricebuildingsinc.com	540-483-7226
15. Chase Crawford	PBI		



RADFORD UNIVERSITY – ALLEN BUILDING
HVAC RENOVATION
PROJECT NUMBER 217-B2217-017

**Pre-bid Conference Meeting Minutes Thursday, March 12, 2026 CPSM
7.3**

1. **Invitation for Bid:**
 - **Bids due: 2:00 P.M. sharp**, as determined by the Bid Officer on **March 24, 2026**.
 - **Bids opening** – 2:00 P.M. March 26, 2026
 - All questions are to be in writing and must be received by **5:00 pm on March 17, 2026**.
 - Pre-Bid Question Form (in Project Manual) questions to be e-mailed to:
snotte@dewberry.com, pokeef@radford.edu, and wferguso@radford.edu
2. **Guarantee**
 - Bid guarantee is required of all bids regardless of bid amount.
 - Contract securities required regardless of bid amount.
3. **Bid Form**
 - **Please fill in all blanks on the bid form**
 - **Acknowledge all addendum**
 - **Sign the bid form**
 - **Include required bid bonds**
 - **Include contractor's Proposed Small Business Participation**
 - Delivered to:
 - Armstrong Facilities Management Building
 - Facilities Planning and Construction Office
 - 501 Stockton Street
 - Radford University
 - Radford, Virginia 24142
 - Contractor is responsible for ensuring that bid is delivered by the bid due date and time.
4. **Bid envelope**
 - Include on the outside of envelope (Lower Left Corner) Per the CO7a Instructions to Bidders Section 4c
 - Marked and addressed per Advertisement
 - **Contractor's License #**
5. **DOLI**
 - If bid is over \$250,000; contractor shall use prevailing wages (*Virginia Department of Labor and Industry - DOLI*) to prepare bid.
 - Included in project manual.
 - The contractor is required to submit certified payrolls for this project in support of the prevailing wage determination.
6. **Addendum**
 - All Addendum will be posted on EVA
 - As a courtesy; Addendum will be e-mailed to attendees listed on the sign-in sheet.
7. **Additional site visits** coordinate with Paul O'Keef and Lou Ferguson
 - pokeef@radford.edu, 540-354-8018
 - wferguso@radford.edu, 540-239-3264
 - Allow for time to coordinate additional site visit (24-hr. min. advance notice required)
8. **Contract Duration**
 - The time for substantial completion of the entire project shall be 200 consecutive calendar days from Notice to Proceed Date.
9. **Administrative:**
 - Contractor shall bid based on plans, specifications and all addendum issued.

DGS-30-256

(Rev. 07/21)

**NOTICE OF
INVITATION FOR BIDS (IFB)
Allen Building HVAC Renovation
Project Code 217-B2217-017**

Sealed bids are invited for the construction of **Allen Building HVAC Renovation**, Project Code 217-B2217-017, on the campus of Radford University, Radford, Virginia. The project is generally described as: HVAC Renovations to include, but not limited to, replacement of air handlers, duct work, Piping, boilers, light fixtures, and acoustical ceilings.

Sealed bids will be received at the Facilities Planning & Construction Office, Armstrong Complex, 501 Stockton Street, Radford, VA 24142. **The deadline for submitting bids is 2:00 P.M. sharp, as determined by the Bid Officer, on April 7, 2026.** The bids will be opened publicly and read aloud **beginning at 2:00 P.M., on April 8, 2026**, at the same location.

A Bid Bond is required.

eVA Vendor Registration: The bidder or offeror shall be a registered vendor in eVA. See the attached **eVA Vendor Registration Requirements**.

Procedures for submitting a bid, claiming an error, withdrawal of bids, and other pertinent information are contained in the Instructions to Bidders, which is part of the Invitation for Bids. Withdrawal due to an error in bid shall be permitted in accordance with Section 9 of the Instructions to Bidders and § 2.2-4330, Code of Virginia. The Owner reserves the right to reject any or all bids.

A pre-bid conference will be held at the Facilities Planning & Construction Office, Armstrong Complex, 501 Stockton Street, Radford, VA 24142, at 10:00 a.m. on March 12, 2026. Attendance shall be optional for those submitting a bid.

The contract shall be awarded on a lump sum basis as follows: the Total Base Bid Amount including any properly submitted and received bid modifications plus such successive Additive Bid Items as the Owner in its discretion decides to award in the manner set forth in Paragraph 12 of the Instructions to Bidders. ‘Notice of Award’ or ‘Notice of Intent to Award’ will be posted on eVA, Virginia Department of General Services’ central electronic procurement website, at <https://eva.virginia.gov>.

Contractor registration is required in accordance with Section 54.1-1103 of the Code of Virginia. See the Invitation for Bids for additional qualification requirements.

All executive branch agencies are directed to advance Executive Order 35, dated July 3, 2019.

The Invitation for Bids for the above project, including the Drawings and Specifications containing the information necessary for bidding, will be available for download from the eVA website at <https://eva.virginia.gov>.

Copies of the Invitation for Bids documents, including the plans and the specifications, will also be available for inspection at the following locations:

Facilities Planning & Construction Office: 501 Stockton St., Radford, VA 24142

Attachment: eVA Vendor Registration Requirements

BID FORM

DATE:

PROJECT: *Allen Building HVAC Renovation
Radford, VA*

Project Code: *217-B2217-017*

To: Radford University
501 Stockton Street
Radford, VA 24142

In compliance with and subject to your Invitation for Bids and the documents therein specified, all of which are incorporated herein by reference, the undersigned bidder proposes to furnish all labor, equipment, and materials and perform all work necessary for construction of this project, in accordance with the Plans and Specifications dated *January 12, 2024*, and the Addenda noted below, as prepared by *Dewberry Engineers Inc. in Charlotte, NC* for the consideration of the following amount:

BASE BID (including the following parts but excluding work in Additive Bid Items):

PART A.

Lump sum for all improvements, complete, except for the excavation of additional unsuitable material *in PART B*, excavation of rock material in trenches *in PART C*, and in accordance with the Plans and Specifications. For the completion of the work, the Contractor shall assume that the building will be unoccupied with the exception of the call center on the first floor, and the armory, evidence, and records rooms on the ground floor. The areas that will remain occupied by the Owner will require an escort when working in these rooms. While the remaining areas of the building will be unoccupied, the Owner shall be allowed to coordinate access with the Contractor to the building during construction:

PART A = _____ Dollars (\$_____).

Base Bids for PARTS B and C shall be based on the estimated quantities indicated to be provided complete and in accordance with the applicable portions of the plans and specifications. Payment amounts for each of these items will be based on the actual quantities authorized, provided and approved times the unit prices indicated by the bidder. The final contract amount shall be adjusted upward or downward based on the actual payment amounts versus the bid amounts for PARTS B and C.

PART B. - EXCAVATION OF ADDITIONAL UNSUITABLE MATERIAL

Excavation of unsuitable material, where authorized or directed, below or in addition to the levels required for the Work in Part A and backfill with compacted material per specifications. (Price per cubic yard) Final amount shall be adjusted upward or downward based on actual quantity authorized.

Estimated quantity of (5) cy @ \$ _____ per cy = _____

PART B = _____ Dollars (\$ _____)

PART C. - EXCAVATION OF ROCK MATERIAL AT TRENCHES

*Excavation of ROCK material, where authorized or directed, proper disposal off-site of excess material and **backfill with compacted trench fill material** per specifications. (price per cubic yard) (Final amount shall be adjusted upward or downward based on actual quantity authorized.)*

Estimated quantity of (5) cy @ \$ _____ per cy = _____

PART C = _____ Dollars (\$ _____)

TOTAL BASE BID AMOUNT (Sum of PARTS A, B & C) IS:

_____ DOLLARS (\$ _____)

ADDITIVE BID ITEM 1: Lump sum ADDITIVE cost to PART A if the building is occupied throughout construction. The Contractor is responsible for, but not limited to phasing of work and providing temporary services (i.e., heating, cooling, fire safety, lighting, etc.) to permit daily typical operation and use of the building during construction. The Contractor will still be required to have escorted access to the call center on the first floor, and the armory, evidence, and records rooms on the ground floor. All work to be completed in accordance with the Plans and Specifications:

_____ Dollars (\$ _____)

Contract award will be based on the **Total Base Bid Amount shown above** (including any properly submitted bid modifications) plus as many Additive Bid Items taken in sequence as the Owner in its discretion decides to award.

The bidder has relied upon the following public historical climatological records:

_____ *Weather Underground* _____ for _____, VA.

Code of Virginia, § 2.2-4376.2 shall be applicable to the Work of the Contract.

The undersigned understands that time is of the essence and agrees that the time for Substantial Completion of the entire project shall be 200 consecutive calendar days from the date of commencement of the Work as specified in the Notice to Proceed, and Final Completion shall be achieved within 30 consecutive calendar days after the date of Substantial Completion as determined by the A/E.

Acknowledgment is made of receipt of the following Addenda: Addendum 1 – 3/20/26

_____.

If notice of acceptance of this bid is given to the undersigned within 30 days after the date of opening of bids, or any time thereafter before this bid is withdrawn, the undersigned will execute and deliver a contract in the prescribed form (Commonwealth of Virginia Contract Between Owner and Contractor, Form CO-9) within 10 days after the contract has been presented to him for signature. The required payment and performance bonds, on the forms prescribed, shall be delivered to the Owner along with the signed Contract.

Immigration Reform and Control Act of 1986: The undersigned certifies that it does not and shall not during the performance of the Contract for this project violate the provisions of the Federal Immigration Reform and Control Act of 1986, which prohibits employment of illegal aliens, or knowingly employ an unauthorized alien as defined in the Federal Immigration Reform and Control Act of 1986.

DISQUALIFICATION OF CONTRACTORS: By signing this bid or proposal, the undersigned certifies that this Bidder or any officer, director, partner or owner is not currently barred from bidding on contracts by any Agency of the Commonwealth of Virginia, or any public body or agency of another state, or any agency of the federal government, nor is this Bidder a subsidiary or affiliate of any firm/corporation that is currently barred from bidding on contracts by any of the same. We have attached an explanation of any previous disbarment(s) and copies of notice(s) of reinstatement(s).

Either the undersigned or one of the following individuals, if any, is authorized to modify this bid prior to the deadline for receipt of bids by writing the modification and signing his name on the face of the bid, on the envelope in which it is enclosed, on a separate document, or on a document which is telefaxed to the Owner:

I certify that the firm name given below is the true and complete name of the bidder and that the bidder is legally qualified and licensed by the Virginia Department of Professional and Occupational Regulation, Board for Contractors, to perform all Work included in the scope of the Contract.

Virginia License No.: _____ Bidder: _____
(Name of Firm)

Contractor Class: _____ By: _____
(Signature)

Specialty: _____ Valid until: _____

FEIN/SSN: _____ Title: _____

If General Partnership (List Partners' Names)	Business Address:
_____	_____
_____	_____
_____	_____
_____	_____



190 Grubb Road
Chatham, VA 24531
434.432.4602 • Fax 434.432.4605
rsiofva@wildblue.net

ROOFING WORKMANSHIP TWO YEAR WARRANTY

PROJECT: Radford University Allen Building

BUILDING OWNER: Radford University

**BUILDING ADDRESS: 801 East Main Street
Radford VA**

MEMBRANE TYPE: 060 EPDM

EFFECTIVE DATE: 8/6/2012

Roofing Solutions Inc. warrants the above named building owner for workmanship at the above listed location for a period of two (2) years starting on the listed effective date.

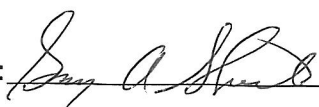
Roofing Solutions, Inc assumes no liability for damage resulting from (1) Acts of God, including without limitation: flood, lightning, hurricane, wind, earthquake, tremblors, tornado, hale or fire. (2) Infestation or presence of plant, mold, fungus, bacterium and insect or animal of any origin/cause. (3) Damage caused by traffic/maintenance by others. (4) Any alterations. (5) Failure to maintain drainage system.

This limited warranty applies only to materials furnished and installed by Roofing Solutions in connection with the issuance of this warranty with all labor and materials paid in full to Roofing Solutions, Inc prior to warranty becoming effective.

Roofing Solutions, Inc warrants any gravel stop or coping, membrane or metal roof, gutter, downspout, or other metal installed by Roofing Solutions, Inc to be water tight for a period of two (2) years from the effective date.

Owner's remedies stated herein are the sole and exclusive remedies for claims arising from installation failure. Roofing Solutions Inc. makes no warranty expressed or implied for: (1) Incidental or consequential damage including but not limited to personal injury, loss of profit or damage to the building, merchandise or other contents for whatever cause including but not limited to mold, fungus, or bacterium, (2) Failure of owner to provide proper maintenance under this warranted roof installation, (3) Improper use of roof by owner or others. The undersigned named Owner agrees, from the date of acceptance of the project, to maintain the roof in accordance with the manufacturer's written requirements and agrees to avoid damage to the roof surface by any parties under his control working or walking on the roof. The owner recognizes his responsibility to inspect the roof semi-annually" and to promptly contact Roofing Solutions to make needed repairs that fall within the contractor's two years' warranty responsibility coinciding with the start of the manufacturer's warranty start date.

If after inspection by a Roofing Solutions' representative roofing failure is due to initial installation, Roofing Solutions Inc. will at its own expense provide labor to make necessary repairs. Immediately upon discovery of roofing failure contact Roofing Solutions Inc with a description of roofing failure while providing permission to access owner property to investigate roofing failure and to perform any obligation imposed by this warranty.

By:  TITLE: Sec/Treas. DATE: 8/6/12



190 Grubb Road
Chatham, VA 24531
434.432.4602 • Fax 434.432.4605
rsiofva@wildblue.net

ROOFING WORKMANSHIP TWO YEAR WARRANTY

PROJECT: Radford University Allen Building

BUILDING OWNER: Radford University

**BUILDING ADDRESS: 801 East Main Street
Radford VA**

MEMBRANE TYPE: 060 EPDM

EFFECTIVE DATE: 8/6/2012

Roofing Solutions Inc. warrants the above named building owner for workmanship at the above listed location for a period of two (2) years starting on the listed effective date.


Roofing Solutions, Inc assumes no liability for damage resulting from (1) Acts of God, including without limitation: flood, lightning, hurricane, wind, earthquake, tremblors, tornado, hale or fire. (2) Infestation or presence of plant, mold, fungus, bacterium and insect or animal of any origin/cause. (3) Damage caused by traffic/maintenance by others. (4) Any alterations. (5) Failure to maintain drainage system.

This limited warranty applies only to materials furnished and installed by Roofing Solutions in connection with the issuance of this warranty with all labor and materials paid in full to Roofing Solutions, Inc prior to warranty becoming effective.

Roofing Solutions, Inc warrants any gravel stop or coping, membrane or metal roof, gutter, downspout, or other metal installed by Roofing Solutions, Inc to be water tight for a period of two (2) years from the effective date.

Owner's remedies stated herein are the sole and exclusive remedies for claims arising from installation failure. Roofing Solutions Inc. makes no warranty expressed or implied for: (1) Incidental or consequential damage including but not limited to personal injury, loss of profit or damage to the building, merchandise or other contents for whatever cause including but not limited to mold, fungus, or bacterium, (2) Failure of owner to provide proper maintenance under this warranted roof installation, (3) Improper use of roof by owner or others. The undersigned named Owner agrees, from the date of acceptance of the project, to maintain the roof in accordance with the manufacturer's written requirements and agrees to avoid damage to the roof surface by any parties under his control working or walking on the roof. The owner recognizes his responsibility to inspect the roof semi-annually" and to promptly contact Roofing Solutions to make needed repairs that fall within the contractor's two years' warranty responsibility coinciding with the start of the manufacturer's warranty start date.

If after inspection by a Roofing Solutions' representative roofing failure is due to initial installation, Roofing Solutions Inc. will at its own expense provide labor to make necessary repairs. Immediately upon discovery of roofing failure contact Roofing Solutions Inc with a description of roofing failure while providing permission to access owner property to investigate roofing failure and to perform any obligation imposed by this warranty.

By:  TITLE: Sec./Treas. DATE: 8/6/12

GOLDEN SEAL TOTAL ROOFING SYSTEM WARRANTY

SERIAL NO. 10081598

923

DATE OF ISSUE: August 07, 2012

BUILDING OWNER: RADFORD UNIVERSITY
NAME OF BUILDING: RADFORD UNIVERSITY - ALLEN BUILDING
BUILDING ADDRESS: 501 STOCKTON STREET, RADFORD, VA
DATE OF COMPLETION OF THE CARLISLE TOTAL ROOFING SYSTEM: 08/06/2012
DATE OF ACCEPTANCE BY CARLISLE: 08/07/2012 (EB Warranty) CMD1111098

Carlisle Roofing Systems, Inc., warrants to the Building Owner (Owner) of the above described building, that; subject to the terms, conditions, and limitations stated in this warranty, Carlisle will repair any leak in the Carlisle Golden Seal™ Total Roofing System (Carlisle Total Roofing System) installed by a Carlisle Authorized Roofing applicator for a period of 20 years commencing with the date of Carlisle's acceptance of the Carlisle Total Roofing System installation. However, in no event shall Carlisle's obligations extend beyond 20.5 years subsequent to the date of substantial completion of the Carlisle Total Roofing System. See below for exact date of warranty expiration.

The Carlisle Total Roofing System is defined as the following Carlisle brand materials: Membrane, Flashings, Counterflashings, Adhesives and Sealants, Insulation, Recovery Board, Fasteners, Fastener Plates, Fastening Bars, Metal Edging, Metal Termination Bars, and any other Carlisle brand products utilized in this installation.

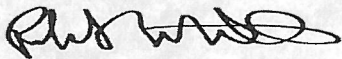
TERMS, CONDITIONS, LIMITATIONS

1. Owner shall provide Carlisle with written notice within thirty (30) days of the discovery of any leak in the Carlisle Total Roofing System. Owner should send written notice of a leak to Carlisle's Warranty Services Department at the address set forth at the bottom of this warranty. By so notifying Carlisle, the Owner authorizes Carlisle or its designee to investigate the cause of the leak. Should the investigation reveal the cause of the leak to be outside the scope of this Warranty, investigation and repair costs for this service shall be paid by the Owner.
2. If, upon inspection, Carlisle determines that the leak is caused by a defect in the Carlisle Total Roofing System's materials, or workmanship of the Carlisle Authorized Roofing Applicator in installing the same, Owner's remedies and Carlisle's liability shall be limited to Carlisle's repair of the leak.
3. This warranty shall not be applicable if, upon Carlisle's inspection, Carlisle determines that any of the following has occurred:
 - (a) The Carlisle Total Roofing System is damaged by natural disasters, including, but not limited to, lightning, fire, insect infestations, earthquake, tornado, hail, hurricanes, and winds of peak gust speeds of 90 mph or higher measured at 10 meters above ground; or
 - (b) The Carlisle Total Roofing System is damaged by any intentional or negligent acts, accidents, misuse, abuse, vandalism, civil disobedience, or the like.
 - (c) Deterioration or failure of building components, including, but not limited to, the roof substrate, walls, mortar, HVAC units, non-Carlisle brand metal work, etc., occurs and causes a leak, or otherwise damages the Carlisle Total Roofing System; or
 - (d) Acids, oils, harmful chemicals and the like come in contact with the Carlisle Total Roofing System and cause a leak, or otherwise damage the Carlisle Total Roofing System.
 - (e) The Carlisle Total Roofing System encounters leaks or is otherwise damaged by condensation resulting from any condition within the building that may generate moisture.
4. This Warranty shall be null and void if any of the following shall occur:
 - (a) If, after installation of the Carlisle Total Roofing System by a Carlisle Authorized Roofing Applicator there are any alterations or repairs made on or through the roof or objects such as, but not limited to, structures, fixtures, or utilities are placed upon or attached to the roof without first obtaining written authorization from Carlisle; or
 - (b) Failure by the Owner to use reasonable care in maintaining the roof, said maintenance to include, but not be limited to, those items listed on Carlisle's Care & Maintenance Information sheet which accompanies this Warranty.
5. Only Carlisle brand insulation products are covered by this warranty. Carlisle specifically disclaims liability, under any theory of law, for damages sustained by or caused by non-Carlisle brand insulation products.
6. During the term of this Warranty, Carlisle shall have free access to the roof during regular business hours.
7. Carlisle shall have no obligation under this Warranty while any bills for installation, supplies, service, and warranty charges have not been paid in full to the Carlisle Authorized Roofing Applicator, Carlisle, or material suppliers.
8. Carlisle's failure at any time to enforce any of the terms or conditions stated herein shall not be construed to be a waiver of such provision.
9. Carlisle shall not be responsible for the cleanliness or discoloration of the Carlisle Total Roofing System caused by environmental conditions including, but not limited to, dirt, pollutants, or biological agents.
10. Carlisle shall have no liability under any theory of law for any claims, repairs, restoration, or other damages including, but not limited to, consequential or incidental damages relating, directly or indirectly, to the presence of any irritants, contaminants, vapors, fumes, molds, fungi, bacteria, spores, mycotoxins, or the like in the building or in the air, land, or water serving the building.
11. This warranty is not assignable by operation of law or otherwise. Application may be made by a new building owner for reissuance of the warranty during the original warranty period. Certain procedures including, but not limited to, an inspection of the Roofing System by a Carlisle representative and fees will apply to any reissuance. Carlisle reserves the right, in its sole discretion, to refuse to reissue this warranty.

CARLISLE DOES NOT WARRANT PRODUCTS UTILIZED IN THIS INSTALLATION WHICH IT HAS NOT FURNISHED; AND SPECIFICALLY DISCLAIMS LIABILITY, UNDER ANY THEORY OF LAW, ARISING OUT OF THE INSTALLATION AND PERFORMANCE OF, OR DAMAGES SUSTAINED BY OR CAUSED BY, PRODUCTS NOT FURNISHED BY CARLISLE.

THE REMEDIES STATED HEREIN ARE THE SOLE AND EXCLUSIVE REMEDIES FOR FAILURE OF THE CARLISLE TOTAL ROOFING SYSTEM OR ITS COMPONENTS. THERE ARE NO WARRANTIES EITHER EXPRESSED OR IMPLIED, INCLUDING THE IMPLIED WARRANTIES OF FITNESS FOR A PARTICULAR PURPOSE AND MERCHANTABILITY, WHICH EXTEND BEYOND THE FACE HEREOF. CARLISLE SHALL NOT BE LIABLE FOR ANY INCIDENTAL, CONSEQUENTIAL OR OTHER DAMAGES INCLUDING, BUT NOT LIMITED TO, LOSS OF PROFITS OR DAMAGE TO THE BUILDING OR ITS CONTENTS UNDER ANY THEORY OF LAW.

BY: Robert H. McNeill
 AUTHORIZED SIGNATURE
 TITLE: Director, Technical and Warranty Services



This Warranty Expires: August 06, 2032



Thank you for selecting Carlisle SynTec Systems as the provider of your new roofing system. We are confident you've purchased a roof that will protect your building and its assets for years to come.

Enclosed is the owner's manual for your new roof. The manual includes your roofing system warranty, along with care and maintenance information that will ensure long-term system performance.

Carlisle SynTec Systems is unsurpassed in its commitment to providing quality commercial roofing systems, products and services. These services include:

- **Carlisle authorized applicators** - This network of professionally trained roofing contractors ensures quality installation of our products and systems. In addition, they are a valuable resource if rooftop conditions change and modifications or revisions to your roofing system are required.
- **No-dollar-limit warranty** - The warranty issued for your roofing project includes both labor and material coverage as outlined in the enclosed warranty document.
- **Service departments** - There are several departments within Carlisle SynTec Systems available to answer questions and provide information regarding:
 - Roof maintenance programs
 - Revisions, alterations and/or modifications to your roof
 - Roof restoration
 - Warranty service

To properly safeguard your roof – and your warranty – please consult the enclosed care and maintenance information prior to making any changes to your roofing system. For questions regarding your warranty, or to report a roof leak, please call us at 1-800-233-0551.

If you wish to see the latest innovations in commercial roofing, please visit www.carlislesyntec.com. Once again, thank you for choosing Carlisle SynTec Systems.

Sincerely,

A handwritten signature in black ink, appearing to read "Robert H. McNeill", written over a white background.

Robert H. McNeill
Director, Technical & Warranty Services